

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: September 22, 2005

ITEM NO. 6

CASE NUMBER/ PROJECT NAME	49-DR-2005 Raintree Mini-Storage		
LOCATION	7227 E. Williams Drive, east and south of the southeast corner at Scottsdale Road.		
REQUEST	Request approval of a site plan & elevations for construction of a new internalized community storage facility.		
OWNER	Spensa Arizona V LLC 952-449-5755	ENGINEER	Rick Engineering Co. 602-957-3340
ARCHITECT/ DESIGNER	SKD Architecture 480-948-8053	APPLICANT/ COORDINATOR	Kelly Ferguson SKD Architecture 480-948-8053
BACKGROUND	<p>Zoning. The site is zoned Highway Commercial (C-3) District. This zoning district allows for an internalized community storage facility subject to the approval of a conditional use permit. Approval was granted by the City Council on June 7, 2005.</p> <p>Context. The site is located in the Adobe/Williams Drive commercial and industrial area. Adjacent Uses:</p> <ul style="list-style-type: none">• North: Rawhide is north of the site across Williams Drive and is zoned Western Theme Park (W-P) District with the Raintree Pet Resort, (Highway Commercial (C-3) District) situated along the northwest side.• South: Cox Service Facility and City well site (Highway Commercial (C-3) District zoning).• East: Cox Service Facility (Highway Commercial (C-3) District).• West: The City of Phoenix is west of Scottsdale Road.		
APPLICANT'S PROPOSAL	<p>September 22, 2005 Update This case was continued at the August 25, 2005 DRB meeting to allow the applicant time to modify the building elevations. The Board indicated that the original proposal had an excessive variety of architectural elements and details and requested the applicant try to simplify the elevations. The applicant has subsequently modified the buildings architecture by removing a portion of the shade canopy that did not cover windows along the western exposure, providing additional support for 2nd floor stone veneer areas and simplifying the building's battered columns and parapet roof configuration along the northern elevation.</p>		

Applicant's Request.

The request is for approval of a site plan and elevations for a new internalized community storage facility on the site. The new two (2) story, two levels above grade plus one (1) level below grade, community storage building will be located northeast of the power line corridor. Storage areas are contained completely within the building. Two internal drive-thru aisles access indoor storage areas. Areas beneath the power lines will be used for a driveway, parking lot and open space only. Open space is also provided along the Scottsdale Road and E. Williams Drive frontage and beneath the power lines. Parking is situated on the north and west sides of the building. A pad may be developed on the north side of the site in the future.

The building contains dark bronze, stucco finished walls with light bronze single score CMU accent bands and tan stone veneer detail areas. The parapet roof is varied height ranging from 30 to 36 feet high and contains a dark bronze metal roof cap. The main entrance is located along the west side of the building and contains storefront glass area with tan metal trellis cover. Limited additional window areas are provided along the north and south sides. The site is 345 feet from Scottsdale Road and 280 feet from E. Williams Drive. A 3-foot tall parking lot wall will screen the site parking areas. The building contains a 4,188 square feet facility operations office space. No full time caretaker is provided.

Landscaping is a xeriscape style palette containing Mesquite and Palo Verde trees plus Saguaro, Jojoba, Brittlebush and other shrubs and ground covers. Landscaping is provided along the north and west sides of the site with base planting adjacent to the north, west and southwest sides of the building. An 80-foot wide scenic corridor easement is provided adjacent to Scottsdale Road. A new sidewalk will be provided along E. Williams Drive and pedestrian connections are provided to the building and streets. The developer will dedicate a 15 foot wide public access easement and construct a multi-use trail within the Scenic Corridor along the west side of the site.

Development Information:

- Existing Use: Undeveloped land, the 365 foot wide power line corridor runs along the western side of the site.
- Proposed Use: Internalized community storage facility, proposed two- story building, including 1 additional level underground.
- Parcel Size: 4.48 acres
- Building Size: 107,330 square feet, (71,736 sq. ft. above ground and 35,594 sq. ft. underground)
- Building Height Allowed/Proposed: 36 feet allowed / 36 feet proposed
- Parking Required/Provided: 53 spaces required and provided
- Open Space Required/Provided: 36,695 square feet required / 52,113+/- square feet provided
- FAR: The Floor Area Ratio (FAR) is 0.37 while the maximum allowed FAR is 0.80. Note: The entire above ground floor area of the building of 71,328 square feet, and has been used to calculate FAR and volume which comply with the Ordinance.
- Number of Units: N/A

- Density: N/A
- *Other:* The above grade building volume for the project is 1,010,480 cubic feet, which conforms to the maximum 1,873,795 cubic feet allowed by the Ordinance.

DISCUSSION

Each of the driveways provide cross access with the Pet Resort to the north and Cox facility to the south and east. Hours of operation will be limited to 6 A.M. to 10 P.M. daily. The site is reasonably compatible with adjacent commercial and industrial uses and has good access to the Scottsdale Road and E. Williams Drive intersection. The proposed storage use will not adversely impact the surrounding land uses.

Traffic enters and exits the site from one access on Scottsdale Road and two (2) access points on E. Williams Drive, which are shared driveways with the properties along the east and west sides of the site. The facility is estimated to generate approximately 50 vehicle trips per day with 10 trips being in the A.M. and 12 trips in the P.M. peak hours, respectively. These trips will be approximately equally divided from those vehicles using both of the Scottsdale Road and E. Williams Drive access points. The Scottsdale Road access provides right in, left-in and right-out turning movements only. Southbound turning movements from the site are facilitated at the intersection at Scottsdale Road and E. Williams Drive. The developer will construct a right turn deceleration lane for the Scottsdale Road access. The Scottsdale Road access will also be shared with the adjoining Raintree Pet Resort and Cox service facility

KEY ISSUES

- All storage will be fully contained within the internalized community storage facility.
- Authorization has been obtained from APS to place the parking lot and driveways under the power lines.
- Traffic generated by the use is relatively low and will not substantially impact the traffic levels of streets in the area.
- Staff has not received any response from citizens on this application.

OTHER BOARDS AND COMMISSIONS

Case 62-ZN-1988#2 established the current C-3 district zoning for the site, and was approved in 1996.

Case 2-UP-2005 provided use permit approval for an internalized community storage facility on the site on June 7, 2005

STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

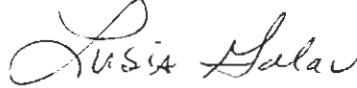
STAFF CONTACT(S)

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APPROVED BY



Al Ward, AICP
Report Author



Lusia Galav, AICP
Current Planning Director
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ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

PROJECT NARRATIVE

The attached documents and following project information is being provided to represent compliance with the City of Scottsdale Zoning Ordinance which requires the issuance of a Conditional Use Permit to allow Internalized Community Storage within a C-3 zoned parcel.

Spensa Development Group, LLC is intending to build a single three-level internalized community storage facility on the property located at 7227 E. Williams Dr. in Scottsdale, Arizona. This proposed development, as depicted on the attached design documents, meets all of the development criteria as specified in the City of Scottsdale Zoning Ordinance.

Currently, the site is vacant. We consider this proposed development an improvement to the on-site and surrounding environment. This proposed use is naturally compatible with the adjacent and surrounding commercial uses. Additionally, this type of facility has a very minimal traffic generation – less than 10 vehicles per day on average based on previous studies of similar facilities. This characteristic is generally preferred by any near by residential neighborhoods. The main proposed use for this facility is for the storage of personal goods by the members of the surrounding communities. The building will include two internalized drive lanes designed to accommodate all sizes of moving vehicles. These drive lanes provide an internal climate controlled loading area that provides direct access to the entire building. This not only provides a climate controlled environment for loading, but also keeps the loading action out of sight of the surrounding properties. The building program also includes approximately 3,000 s.f. of office space to be used as a rental office and flex office space. Being less than 10% of the total building area, this office use is accessory to the primary building use. The construction of the building will be a combination of painted masonry with integral colored and/or split faced masonry banding and/or accents. All mechanical units will be fully screened by masonry parapets of varying heights. All roof drains will be internal with daylight discharge. Aluminum framed storefront glazing will be used primarily at the office areas and selectively throughout the remainder of the building where allowable to provide natural lighting within the storage corridors.

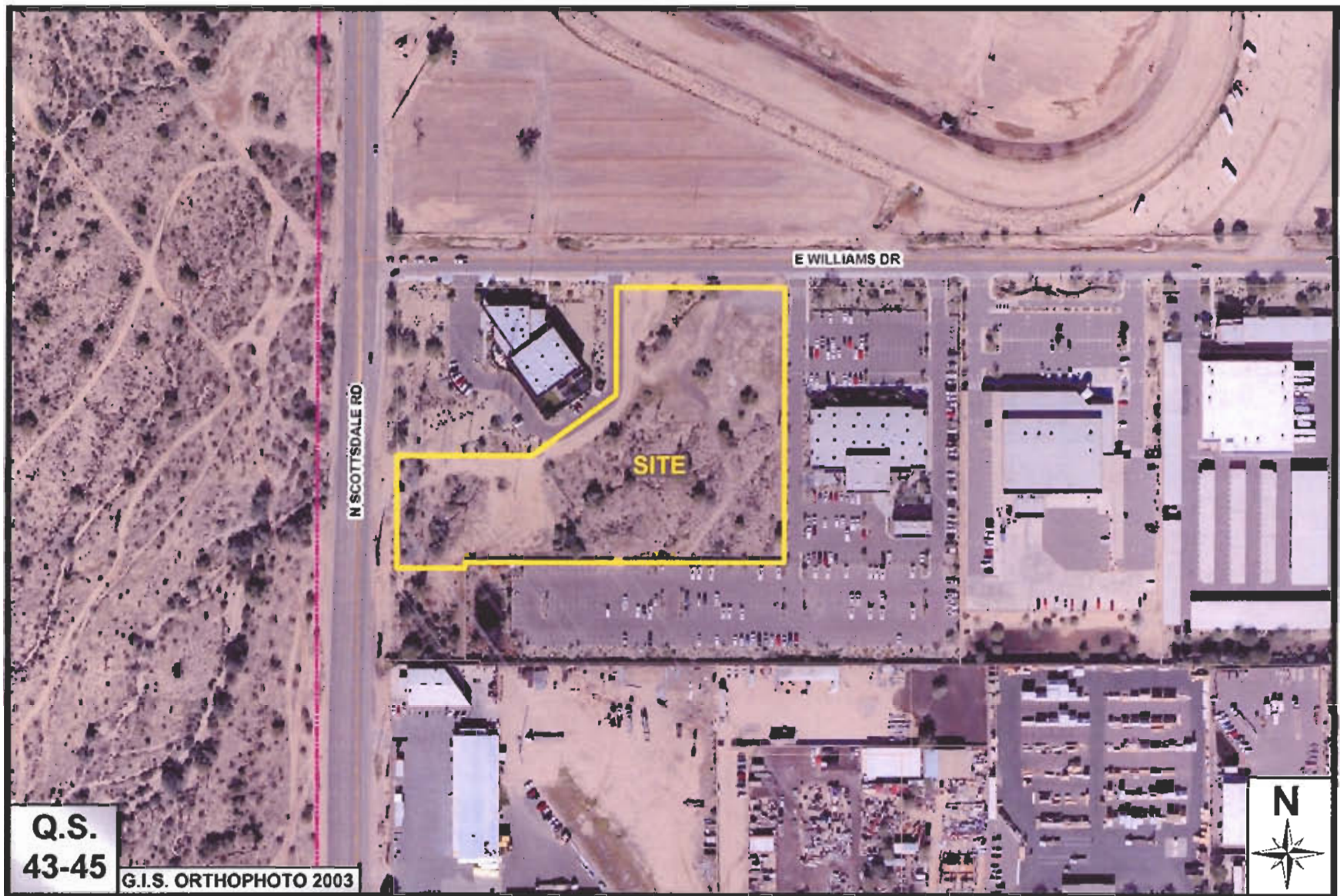
Exterior mounted security cameras with 24 hour activation will be provided throughout the site. Each storage unit will be individually alarmed. This system will provide a record of all access activity in the building. The building will also feature electronic keypads to limit access to current customers only.



Raintree Mini-Storage

49-DR-2005

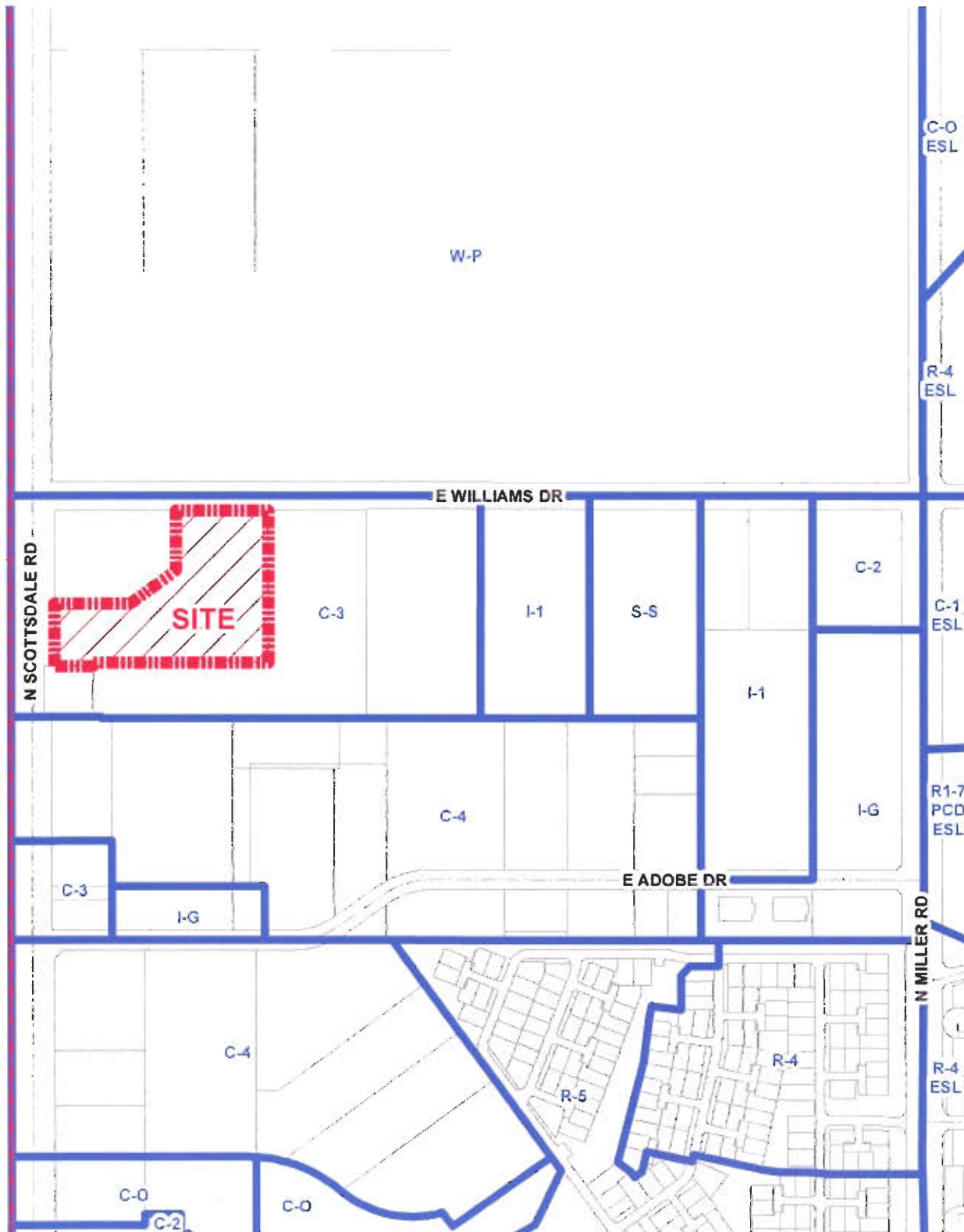
ATTACHMENT #2



Raintree Mini-Storage

49-DR-2005

ATTACHMENT #2A



49-DR-2005

ATTACHMENT #3



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A map of Section 14, Williams, showing the location of the site. The map includes a north arrow, a scale bar, and labels for roads: Pinnacle Road, Peak Road, Scottsdale Road, Hayden Road, Miller Road, and Adobe Dr. The site is located on the west side of Adobe Dr, between Scottsdale Road and Hayden Road.

DR-1

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10448 N. 74th St.
Suite 150
Scottsdale, AZ 85258

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FAX: 480-609-9227
www.jaidinc.net

SKD

2004

02.11.05
03.28.05 USE PERMIT REV.
05.17.05 DRB 1ST. SUBMITTAL
07.22.05 DRB REVISIONS

Prepared For:
Spensa Development Group

ATTACHMENT #4

Raintree Mini-Storage

7227 East Williams Drive
Scottsdale, Arizona

49-DR-2005

07/28/05

↑

49-DR-2005
07/28/05

[illegible]

TJM
ANALYTICAL

T. J. GREEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBANS DESIGN
SITE PLANNING
171 East Alhambra Ave., Suite 214
Pasadena, Arizona 91104
(602) 799-0000
Fax: 799-0000

PAINTS STORAGE

2227 East Williams Drive
HOUSTON, TEXAS
DIXIE HOLMES-PA-2009
HOUSTON DISTRICT

23

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CONSIST OF LAW & ASSOCIATES

Sheet no. L-2 of 2

SKD, Inc.
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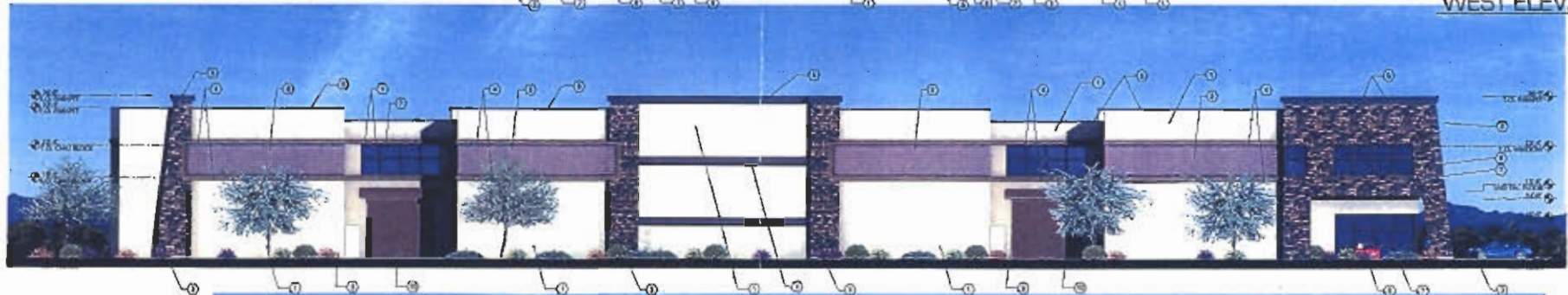
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SKD

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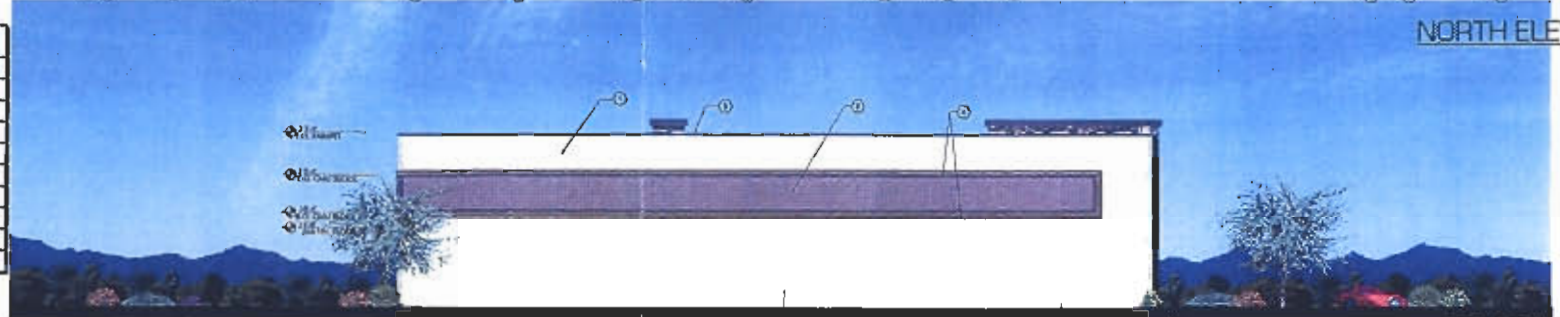


WEST ELEVATION
1/2" = 1'-0"

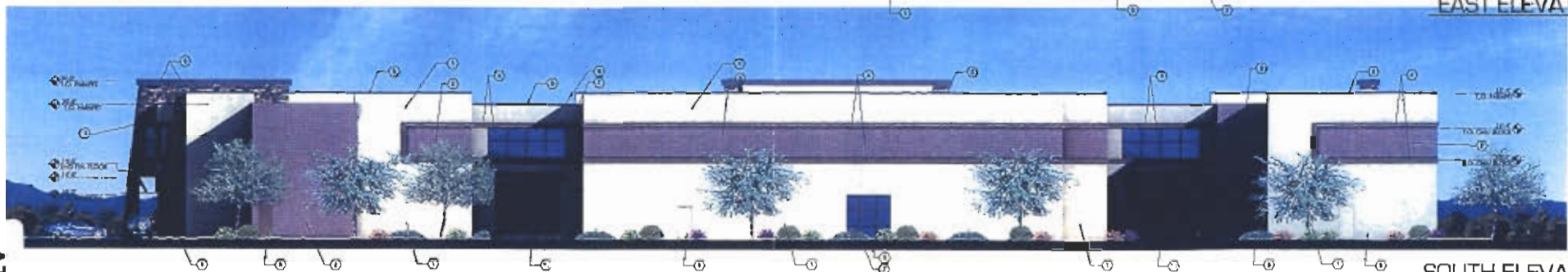


NORTH ELEVATION
1/2" = 1'-0"

MATERIALS	COLOR
1 STUCCO - DARK GRAY	QUARRY EDWARDS "DARK GRAY" CHALK
2 PERSONAL COLOR BRICK	BRICKWORK "PERSONAL" BRICK
3 STONE VENEER	16" COURSED STONE "NATURAL" LIGHT
4 STUCCO BAND	QUARRY EDWARDS "TEA BAY" CHALK
5 METAL SHIMMET LAMP	BRASS BRONZE
6 STEEL SHIMMET TRUSS	BRASS BRONZE "TEA BAY" CHALK
7 ALUMINUM WINDOW CASE	BRASS BRONZE
8 1" INSULATED GLAZING	BRASS BRONZE TRIP
9 HOLLOW METAL DOOR	QUARRY EDWARDS "DARK GRAY" CHALK
10 ALUMINUM METAL DOOR	QUARRY EDWARDS "TEA BAY" CHALK



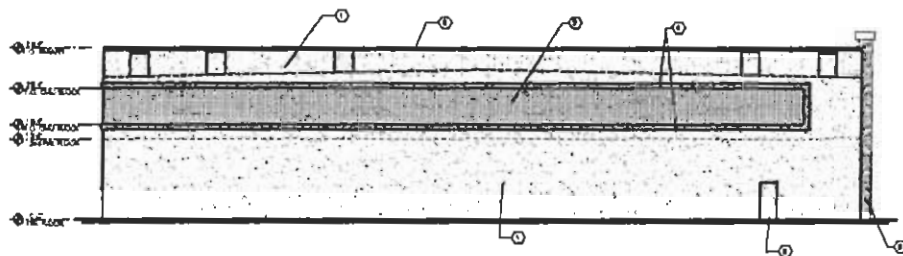
EAST ELEVATION
1/2" = 1'-0"



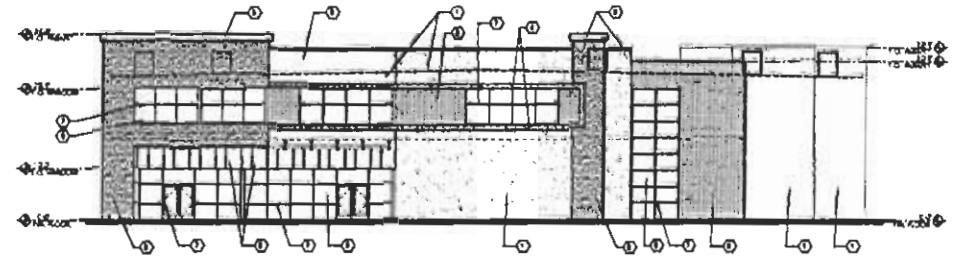
SOUTH ELEVATION
1/2" = 1'-0"

ATTACHMENT #6

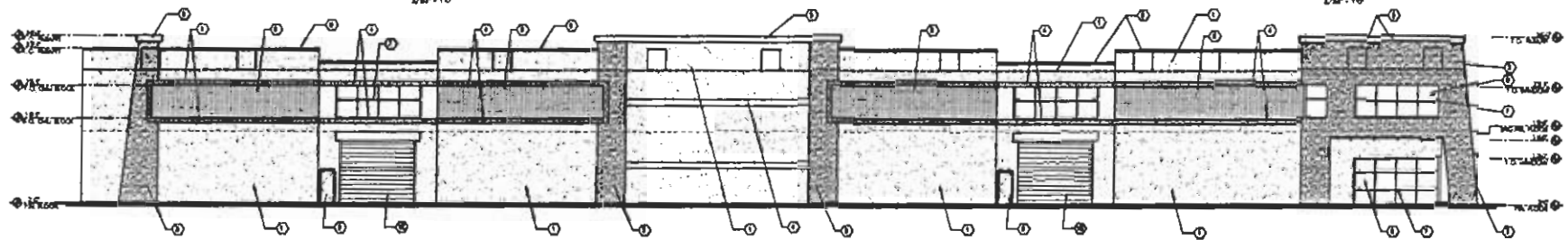
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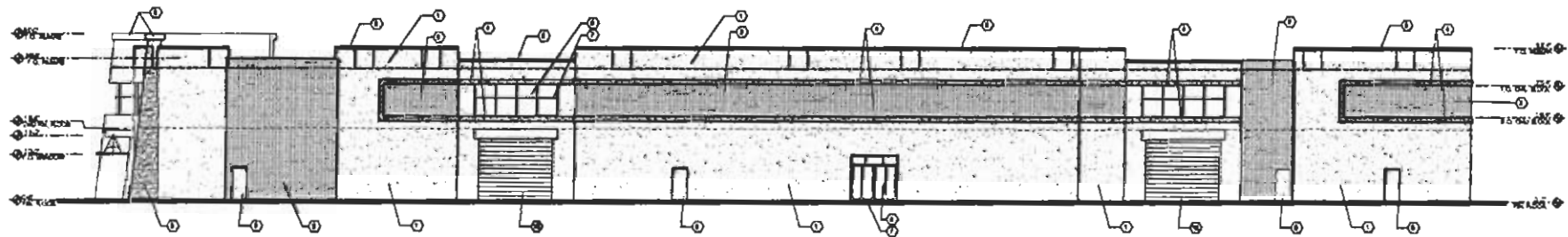
EAST ELEVATION
3/28-10



WEST ELEVATION
3/28-10



NORTH ELEVATION
3/28-10



SOUTH ELEVATION
3/28-10

MATERIALS	COLOR	MATERIALS	COLOR
① PL GCO - ONE COAT	CLARK SCHWABER TEA BAY CRACK	⑦ INSULATED GLASS	OVERLAP
② ATTING COLOR BLOCK	CLARK SCHWABER TEA BAY CRACK	⑧ 1" INSULATED GLASS	CLARK SCHWABER TEA BAY CRACK
③ PL GCO - ONE COAT	CLARK SCHWABER TEA BAY CRACK	⑨ INSULATED GLASS	CLARK SCHWABER TEA BAY CRACK
④ PL GCO - ONE COAT	CLARK SCHWABER TEA BAY CRACK	⑩ INSULATED GLASS	CLARK SCHWABER TEA BAY CRACK
⑤ PL GCO - ONE COAT	CLARK SCHWABER TEA BAY CRACK		
⑥ PL GCO - ONE COAT	CLARK SCHWABER TEA BAY CRACK		

03.28.05 USE PERMIT REV.
03.17.05 DESIGN DEV. 1ST. SUBMITTAL
03.27.05 DRG REVISIONS

Prepared For:
Spensa Development Group

EXTERIOR ELEVATIONS

Raintree Mini-Storage
7227 East Williams Drive
Scottsdale, Arizona

49-DE-2005
9/06/05

DR-6

U.P. CASE#: 2-UP-05
CASE#: 735-PA-04

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SKD

RAINTREE MINI-STORAGE
7227 E. Williams Drive
Scottsdale, AZ

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
AS SHOWN
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☒ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____

- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

ATTACHMENT A

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: ORD 2 SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Raintree Mini-Storage 49-DR-2005

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevation sheet DR-6 submitted by SKD with a staff receipt date of 9/06/2005.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan sheet DR-1 submitted by SKD with a staff receipt date of 7/28/2005.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan sheet L-2 of 2 submitted by T.J. McQueen & Associates, Inc. with a staff receipt date of 7/28/2005.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be internal, or flush with the building façade, painted to match the building, and oriented away from public view.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Dooley wall fencing shall not be allowed.
8. All walls shall match the architectural color, materials and finish of the building(s).

SITE DESIGN:

DRB Stipulations

9. *The sidewalk from the multipurpose trail along Scottsdale Road to the building shall be realigned with the building entrance through a break in the parking screen wall.*
10. *In accordance with the City Council approved scenic corridor guidelines, no portion of a retention basin for on site drainage shall encroach the required 80 feet wide scenic corridor easement, unless approved by City staff.*

ATTACHMENT B

Ordinance

- A. *No portion of a retention basin for on site drainage shall encroach the required minimum 80 feet wide scenic corridor easement along Scottsdale Road per 2-UP-2005, Stipulation number 4, unless approved by City staff.*
- B. *In accordance with use permit case 2-UP-2005, Stipulations number 1, and the use provisions of the zoning ordinance prohibiting unscreened outdoor operations in the C-3 district, no commercial plant nursery may be operated on site, unless approved by staff in accordance with the Ordinance. Instead, the area must be landscaped in accordance with the approved landscape plan and associated stipulations.*
- C. *All property development standards data shall be corrected to accurately reflect ordinance requirements and amounts provided.*
- D. *All improvements within the high voltage electrical right-of-way are subject to approval by APS and the Department of Energy. The applicant shall present evidence of all required agreements and approvals, including, but not limited to, a License Agreement, an encroachment permit, and an indemnification agreement prior to the issuance of any permits for construction from the City of Scottsdale.*

LANDSCAPE DESIGN:**DRB Stipulations**

- 11. *Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.*
- 12. *Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.*
- 13. *Species of shrubs, ground covers, accents, and succulents having a regional maximum height growth habit exceeding 2 feet shall not be planted in the sight visibility triangles as defined in the current City of Scottsdale Design Standard and Policies Manual.*
- 14. *The applicant shall provide three 100 foot by 100 foot native vegetation samples of undisturbed, undeveloped land within 1 mile of the site. The samples shall be taken from areas representative of typical natural vegetation types and levels. The samples shall be used as a baseline to evaluate the species mix and density in the scenic corridor easement. A revised landscape plan that demonstrates an appropriate species mix and density shall be presented for a Staff Approval. The staff approval shall be obtained prior to the issuance of any permits for construction.*
- 15. *Plantings adjacent to the scenic corridor shall either be consistent with the scenic corridor plantings, or transition gradually to an alternate palette as determined by a Staff Approval to be obtained prior to the issuance of any permits for construction.*
- 16. *All plant species shall be selected solely from those listed on both the City of Scottsdale Indigenous Plants for Environmentally Sensitive Lands list and the Arizona Department of Water Resources Low Water Use and Drought Tolerant Plant List.*

Ordinance

- E. *No trees shall be planted in the high voltage electrical corridor.*
- F. *Mass plantings of shrubs and ground covers in and immediately adjacent to public Rights-of-Way shall be planted at a minimum density of four feet on center.*
- G. *Mass plantings of shrubs and ground covers on site shall have a maximum spacing between plants of seven feet between projected mature canopies.*

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

17. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
18. The individual luminaire lamp shall not exceed 250 watts.
19. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
20. All exterior light poles, pole fixtures, and yokes, shall be a flat black or dark bronze.
21. No lighting shall be permitted in dedicated *scenic corridor* easements.
22. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

VEHICULAR AND BICYCLE PARKING:**DRB Stipulations**

23. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:**DRB Stipulations**

24. No exterior vending or display shall be allowed.
25. Flagpoles, if provided, shall be one piece, conical, and tapered.
26. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:**Ordinance**

1. At the time of review, the applicable zoning and Use Permit cases for the subject site were: 62-ZN-1988#2 and 2-UP-2005.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

27. Preliminary Drainage Report prepared by Rick Engineering and dated July 28th, 2005.
28. Conceptual site plan prepared by SKD, Inc. and dated July 28th, 2005.
29. Basis of design report for water (not approved by the Water Department), prepared by Rick Engineering and dated July 2005.
30. Basis of design report for sewer (not approved by the Water Department), prepared by Rick Engineering and dated July 2005.

CIVIL IMPROVEMENT PLAN REQUIREMENTS:

DRB Stipulations

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

31. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
 - b. The improvement plan acceptance for review by the City of Scottsdale shall be contingent upon the prior approval of the final drainage report prepared for this site. The developer is being encouraged to submit the drainage report as much prior to the submittal of the improvement plans as possible to avoid delays in the review.
 - c. The final drainage report is required to demonstrate and clarify the issue of the 50 cfs wash easement and the encroachment of a proposed building into that easement.
32. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.

Ordinance

- H. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
 - (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).

- (4) Off-site runoff must enter and exit the site as it did historically.
- (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- I. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- J. Underground Stormwater Storage:
 - (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
 - (2) Drywells are not permitted.
- K. Street Crossings:
 - (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Scottsdale Road	Major Arterial	65' existing	Construct decel lane (see below).	Match existing	existing
Williams Drive	Major Collector	45' existing	existing	existing	Needs Sidewalk that matches with the existing to the west.

DRB Stipulations

- 33. The developer shall design and construct the driveway on Williams Drive in general conformance with COS detail 2257 (type CH-1).
- 34. The developer shall design and construct the driveway on Scottsdale Road in general conformance with COS detail 2257 (type CH-2).
- 35. Additional Stipulations as project demands and required by City staff.
- 36. The driveway on Scottsdale Road will need to be right in and right-out only. The developer shall construct an island in the driveway subject to approval by the City Transportation Department to prevent left turns.
- 37. The developer shall construct a northbound right-turn deceleration lane on Scottsdale Road for the proposed driveway, conforming to City design standards.

Ordinance

- L. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

INTERNAL CIRCULATION:**DRB Stipulations**

38. The developer shall provide a minimum parking-aisle width of 24 feet.
39. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
40. The developer shall maintain drive connections to the adjacent parcels, to the satisfaction of City staff.
41. The developer shall provide a minimum of 120 feet of queuing distance for all "drive-thrus."

EASEMENTS and dedications:

EASEMENT / DEDICATION	DESCRIPTION
80 feet	Scenic Corridor easement along Scottsdale Road.
24 feet	Cross access easement to the property south to maintain future access.

DRB Stipulations

42. Trail Easement:

- a. Prior to final plan approval, the developer shall dedicate a minimum 15-foot wide public access easement within the 80 feet Scenic Corridor easement along Scottsdale Road. Before any certificate of occupancy is issued for the site, the developer shall construct a minimum 8-foot wide public trail within the easement. The alignment shall be determined prior to submission of final plans.
- b. The developer shall provide signage for all trails per Section 7.3 of the City's Design Standards & Policies Manual. The location and design of the signs and markers shall be shown on the final improvement plans to the satisfactions of Parks and Recreation staff. Sight Distance Easements:

43. Sight distance easements shall be dedicated over sight distance triangles.

- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

44. Vehicular Non-Access Easement:

- a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Scottsdale Road and Williams Drive except at the approved driveway locations.

45. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

M. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control

easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

N. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

O. Vista Corridor Easements:

- (1) All vista corridor easements, drainage easements and easements for stormwater storage shall be dedicated to the City as drainage and flood control easements, with maintenance the responsibility of the owner.

P. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

REFUSE:

DRB Stipulations

46. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146 for single enclosures and #2147 for double enclosures.

47. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

Q. Refuse enclosures are required as follows:

- (1) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

R. Underground vault-type containers are not allowed.

S. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

T. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

48. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the developer a site-specific addendum to the master report, subject to review and approval by City staff.
49. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:**DRB Stipulations**

50. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

Ordinance

- U. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

51. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.
52. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

- V. Privately owned sanitary sewer shall not run parallel within the waterline easement.
- W. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All development within industrial (I-1) zoned districts shall provide a monitoring manhole.

BRIDGES:**DRB Stipulations****CONSTRUCTION REQUIREMENTS****DRB Stipulations**

53. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.

- a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
- b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- X. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

VERIFICATION OF COMPLIANCE**DRB Stipulations**

- 54. Condition for issuance of grading and drainage permit: Before the issuance of a Grading & Drainage Permit:
 - a. The drainage report and the two basis of design reports (sewer and water) need to be approved by the city staff.